



AGENDA
LOVES PARK ZONING BOARD OF APPEALS
October 19, 2023

CITY COUNCIL CHAMBERS
100 HEART BOULEVARD
5:30 P.M.

1. Roll call and declaration of a quorum
2. Reading and approval of the minutes from the **September 21, 2023** meeting
3. Report from the Zoning Office – None
4. Unfinished business – None
5. New business –
 - A. **6005 Forest Hills Court (08-33-127-029)** – A Special Use Permit for off-site signage in the IL (Light Industrial) Zoning District.
 - B. **5463 Harlem Road (08-33-126-013)** – A Special Use Permit for off-site signage in the CR (Commercial Retail Zoning District).
 - C. **6351 Harlem Road** – A Variance from a maximum allowable 1,500 square feet for an accessory structure to a requested 4,000 square feet for an accessory space in the R1 (Single Family Residential) Zoning District.
 - D. **6005 Shale Drive** – A Special Use Permit for mini-warehouse storage units without outside storage in the CR (Commercial Retail) Zoning District.
 - E. **6005 Shale Drive** – A Variance from the required commercial building materials, Section 102-174, (g), to utilizing none of the required commercial building materials, section 102-174, (g) in the CR (Commercial Retail) Zoning District.
 - F. **6245 N. Second Street (12-06-104-001 & 12-06-104-002)** – A Special Use Permit for a car wash establishment in the CR (Commercial Retail) Zoning District.
 - G. **1616 Windsor Road (08-32-351-003 & 03-32-351-004)** – An amendment to a Special Use Permit for a dumpster, scrap material heights, landscaping, and maintenance requirements in the IL (Light Industrial) Zoning District.
6. Public participation & comment
7. General discussion
8. Adjournment

Andrew Quintanilla
Zoning Officer



Minutes of the Loves Park Zoning Board of Appeals

Date: September 21, 2023 Time: 5:30 P.M.

1. Chairman: Benjamin Danielson call the meeting to order at: 5:30 PM

Members Present:	<u>Benjamin Danielson</u>	<u>Rhonda Taylor</u>
	<u>Luke Carlson</u>	<u>Nathan Kutz</u>
	<u>Cathy Nelson</u>	<u>Don Daniels</u>
		<u>Frank laudicina</u>

Members Absent: _____

Others Present Andrew Quintanilla (Staff) _____

Mr. Danielson informed petitioners of the second meeting (CDC) in the process to be held on **October 2, 2023** in Council Chambers here at Loves Park City Hall, at 4:30 PM.

2. Minutes

Mrs. Nelson moved to approved the minutes from the **August 17, 2023** meeting. Mr. Carlson second the motion. Motion carried by vote.

3. Zoning Office Report - None

4. Unfinished Business - None

5 New Business

- A. 6093 Valhalla Drive - A Variance to install an accessory parking pad in front of the garage in the R1 (Single Family Residential) Zoning District.**

Petitioner: Alexis Skaggs and Rob Skaggs

GENERAL DISCUSSION:

The property owner, Mrs. Skaggs, stated that she was requesting a parking pad in front of her home to the left of the existing driveway. She stated that it was put in ahead of getting approval, but was not aware that it was not permitted, or that zoning was required.

Mr. Daniels inquired about the origin of the complaint.

Mrs. Skaggs stated that the pad had been put in for few years, and that inquiry to whether or not it was permitted revealed that it no permit had been taken out. Mrs. Skaggs stated that she feels that a construction company may have turned her in, but was not sure. She stated that this company had been in the area working with other residents, which may be why all this came about. She also stated, that after she was made aware that permitting was required, she checked with the company

who installed the pad, and they did not get approval for it from the City. She stated that she wanted to do the right thing and come before the City to get approval.

Mr. Daniels remarked as to whether there was any conflict with neighbors about the zoning request. She stated that adjacent property owners had provided statements supporting her petition.

Mrs. Nelson inquired to the whether the pad attached to to the neighbors property.

Mrs. Skaggs stated that it was a few feet from the property line.

Mr Skaggs stated that the parking pad was put in 2.5 years ago, and that this matter did not come to their attention until a few months ago when they received a letter from a company inquiring how they were able to get the auxiliary parking pad without getting zoning. The address identified in the letter received stated that the property owner wanted to get one as well, and was inquiring how it was allowed.

Mr. Skaggs stated they it was installed without any knowledge that permission was required. It was only put in to accommodate their son who needed off-street parking because the traffic was fast and the streets are narrow.

Mr. Carlson stated they they approve, it would appear, a lot of these types of requests. It shouldn't be an issue for these.

Ms. Nelson stated that it isn't the contractors responsibility to get the permits it is the homeowners. Most contracts do indicate this, and it would be best to call and ask if permits are required. She stated that permits for improvements like these are not that expensive. She thanked the homeowners for doing the right thing.

BOARD DISCUSSION:

Mrs. Nelson stated the approval follows the recommendation from Staff, and does meeting the finding presented for the approval. Ms. Nelson stated that the adjacent neighbor to this property, who she knows, has made it known that they do not have a problem with it, and that this is an unfortunate circumstance to be in this situation.

FINDINGS OF FACT HAVE BEEN MET

NO OBJECTORS PRESENT

Mrs. Nelson made a motion to approve a text amendment for Chapter 102, Zoning Section 102-9, Definitions, Box Market as presented. Mr. Daniels second the motion.

Mr. Quintanilla stated that we were working of language to address the need for auxiliary parking pads.

Mr. Carlson asked if that text would this make it permitted so when its done all they would have to do is get a permit?

Mr. Quintanilla stated it may under certain circumstances, but would be easier for properties where recorded easements didn't exist, and possible older parts of the where the properties are different relative to the newer areas. At this point, it would be necessary to review these petitions on a case by case basis.

Mrs. Nelson made a motion to approve a variance to install an accessory parking pad in front of the garage, and alongside of the existing driveway in the R1 (Single Family Residential) Zoning District for 6093 Valhalsl Drive.

Mr. Kutz second the motion.

MOTION APPROVED: 6-0

**B. Annexation of the property commonly known as 6405 Harlem Road
Pin (08-34-127-005)**

Petitioner: Staff

BOARD DISCUSSION

Mr. Quintanilla stated that there are two parcels that are currently in unicorporated Winnebago County. Both owners have petitioned the City to be annex into the City. Both properties have been used in conjunction with single family dwellings, and will continue to be used for that purpose.

Mr. Quintanilla stated that our department does not have any issues with the requested annexations, and support them completely. He also stated that the area, while in the City of Loves Park boundaries, there are several properties in this area that have not annexed in. He stated that as those requests came in, future annexations in this area are likely.

Mr. Nicolosi stated that it is generally a requirement, and he seems to recall that historically that has been a part of the agreement.

Mr. Daniels stated that it would not be possible for landowners to annex into the City if they were not within the city limits and services were not present.

Mr. Quintanilla stated that annexation does a few things. Annexation gives residents access to services such a garbage collection, leaf vacuuming, and road maintenance that would be coordinated and/or provided by the municipality. Speaking to what the fees may be for annexation, was not an answer that Mr Quintanilla could remark on due to his not knowing those costs.

Mr. Carlson stated state there were some properties between Rockford and

Loves Park where there was a desire to be in the county due to lower tax rates. He inquired as to why would these landowner choose to be annexed?

Staff stated that he was unaware of the reasoning behind the annexation, but that a property owner only need to make the request, and it were within the boundaries, which these properties are, it shouldn't be problematic.

Mr. Nicolosi stated that in unincorporated areas the fees can be expensive when replacing or maintaining wells and septic systems. It is possible that some home owners do not want the fees and headaches that go along with being in unincorporated territories. Mr. Nicolosi stated that there is sometimes a desire to connect to City water and to have sewer services to the property.

Mrs. Nelson inquired if there two buyers of the properties. She stated that the maps did not provide enough clarity for the property that had two parcels wishing to be annexed into the City. She stated that if a parcel was already in the City, would there be a need to take action on annexation for the second smaller parcel. The documents were not clear enough.

Mr. Quintanilla stated that while the documents provided by RK Johnson, and there was ambiguity on her part, RK Johnson did prepare the documents and that I had faith in their representaiton given the work that the engineering company has done with the City of the years.

Mrs. Nelson indicated that she did not have any issues with annexing the properties into the City. She requested that the documents provided for consideration should be clearer when making decision such as these.

Mr. Quintanilla stated that you only need to specifically refer to the parcels by pin number for the annexation, if the documents were not clear enough.

Discussion continued on the maps provided for the annexation.

Mr. Nicolosi stated that Mrs. Nelson only needed to determine whether or not she wanted to approve the annexation, assuming whether or not the properties can be annexed, which was the only thing the Zoning Board is being tasked with. The maps were prepared in this manner with the confidence of the City and Staff before being presented to the body. Mr. Nicolosi further stated that consideration should be given on whether it was a viable use included into the City corporate limits, based on value, volume or any other relevant aspects when decision making. He stated that the only thing that needs to be done this evening, is whether or not the body wants to vote to annex said propreties into the City.

Mr. Quintanilla stated that clearer boundary maps would be provided for future

annexations.

NO OBJECTORS PRESENT

Mr. Carlson made a motion to annex property commonly known as 6405 Harlem Road
Pin number 08-34127005

Mrs. Taylor second the motion.

MOTION APPROVED: 6-0

- C. Annexation of the property commonly known as 6453 & 64XX Harlem Road,
Pins (08-34-127-009 and 08-34-127-021)**

Petitioner: Staff

BOARD DISCUSSION

Mr. Carlson made a motion to annex property commonly known as 6453 & 64XX
Harlem Road, Pin number(s): 08-34-127-009 and 08-34-127-021

Mrs. Taylor second the motion.

NO OBJECTORS PRESENT

MOTION APPROVED: 6-0

6. Public Participation and Comment

None

7. General Discussion

None

Mr. Carlson moved that the meeting be adjourned. Second by Mr. Laudicina. Motion carried by
vote. The meeting adjourned at 6:18 p.m.

Secretary, Andrew Quintanilla



ZONING BOARD OF APPEALS

Community Development Department

Date: October 19, 2023

SUBJECT:	A Special Use Permit for off-site signage in the IL (Light Industrial) Zoning District		
LOCATION:	6005 Forest Hills Court (08-33-127-029)		
ZONING DISTRICT:	North	IL (Light Industrial)	
	South	IL (Light Industrial)	
	East	R2 (Two-family Residential)	
	West	IL (Light Industrial)	
PROPERTY INFORMATION:			
Signage: Billboard			
Requirement for IL:	Front yard sign setback:	10 feet	
Provided:	Front yard sign setback:	10 feet	
Findings:			
1	The establishment of the special use will not be detrimental or endanger the public health. The special use is for signage, which does not generally pose any detrimental impacts to the public or area. The sign does appear to be in the county right-of-way. The owner should locate the property boundaries and meet the setbacks for the signage.		
2	The special use will not be injurious to other properties in the immediate vicinity nor shall the establishment of the use diminish property values. The area is closed off to arterial traffic off of Forest Hills Court. The sign faces Perryville Road, which is an arterial road through the city. However, the traffic on Perryville Road moves quite fast, and as a consequence, the sign goes largely unnoticed. The approval should have some maintenance element included, which would require the owner/applicant to maintain the sign so it does not fall into disrepair or become unsightly.		
3	The establishment of the special use will not impede orderly development or improvements of the surrounding property because the sign is easily removable. It is unlikely that there will be any severe or adverse impacts to the zoning district for development.		
RECOMMENDATION:	Approval - A Special Use Permit for off-site signage in the IL (Light Industrial) Zoning District.		
	Conditions:		
	1. The Special Use Permit expires with the change in property ownership, or change in business ownership.		
	2. The property owner shall take out a permit for the sign within 30 days of the approval of the special use. The sign shall be set back 10 feet from the property line. Maintenance		

shall be required.

3. The property owner or business owner shall be prohibited from adding additional signage to the structure. The photo(s) dated October 4, 2023 show what is being approved. The sign shall not exceed 4' x 16' or 64 square feet for the total square footage. The special use is only for O'Connor's Heating Cooling and Electrical.
4. If the property owner or business owner is required to remove signage due to utility repairs, the signs may be reestablished at the size approved with this special use permit.
5. When the applicant establishes a business at this location, the temporary signage shall be removed and the owner/applicant shall meet the city's guidelines for business signage.

ATTACHMENTS:

See attachments

ZONING BOARD

RECOMMENDATIONS:

APPROVAL / DENIAL / TABLED

Vote: _____

CONDITIONS:

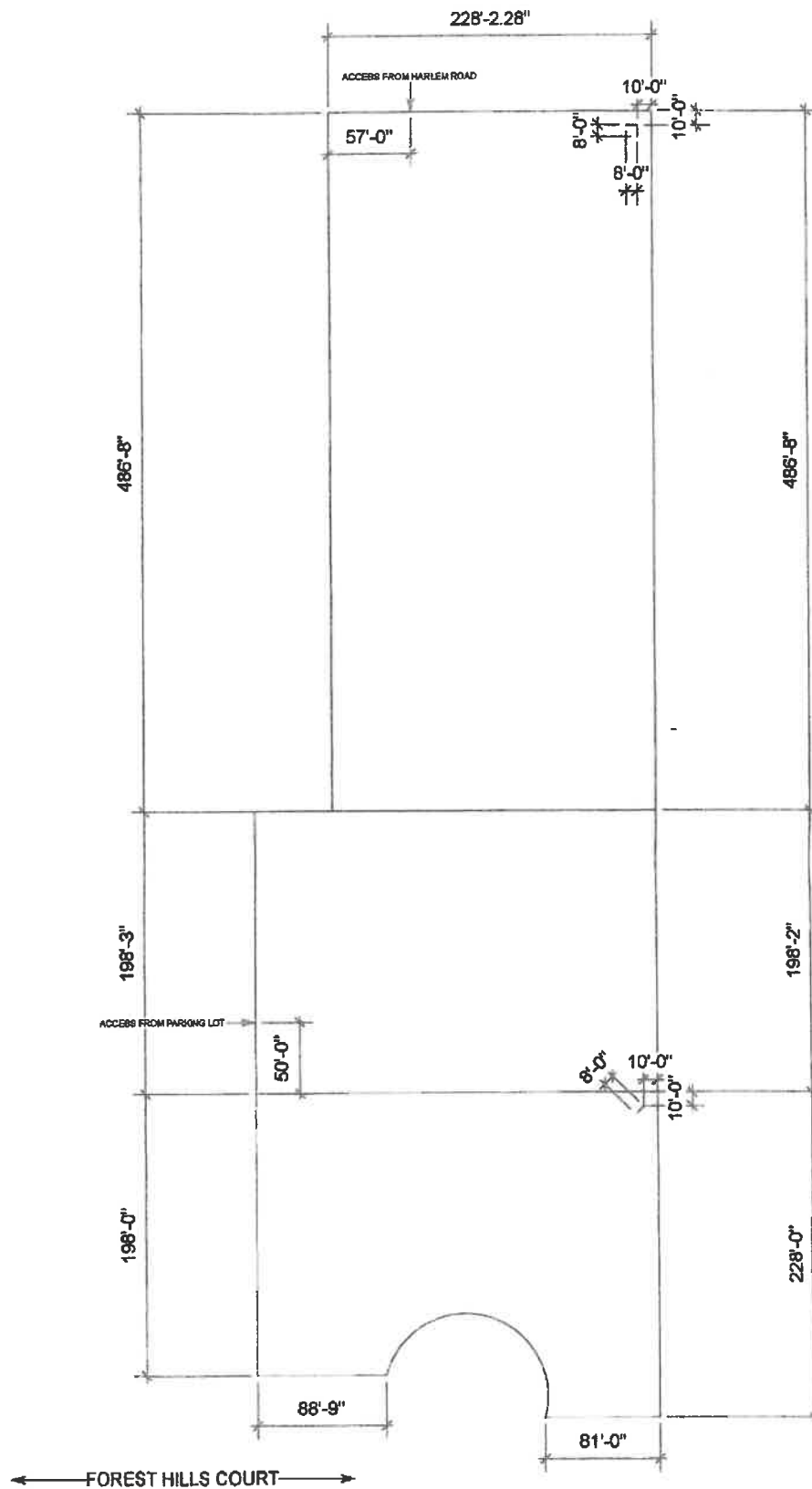
AS PRESENTED / AMENDED / N/A

AUDIENCE COMMENTS:

6005 Forest Hills Court, October 4, 2023 – Single Sign



NOTE: SIGNS ARE 16'-0" HIGH



Recommended Findings of Fact of City Staff based on the information provided by the applicant

Findings as Required by Loves Park Ordinance - Each enumerated finding must be met before a petition for a special use may be approved.

Mark "Yes," if the findings have been considered and found to be relevant and true. Mark "No," if the findings have been considered and found to be not true. If you mark "No," please explain why in the space provided below each finding. Mark "N/A," if the findings are not applicable to the situation.

6005 Forest Hills Road (08-33-127-029)

ZBA

- 1 ☐ The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Reason:

- 2 ☐ The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish and impair property values within the neighborhood.

Reason:

- 3 ☐ The establishment of the special use will not impede the normal orderly development and improvement of the surrounding property for uses permitted in the district.

Reason:

- 4 ☐ Adequate utilities, access roads, drainage and/or necessary facilities have been, are being, or will be provided.

Reason:

- 5 Adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets.

Reason:

- 6 The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located. The zoning officer shall forward the board of appeal's decision and records to the city council within ten days after action or within 45 days from the date of the public hearing if no action has been taken by the board of appeals.

These findings are based on staff interpretation of the required findings necessary for approval of a Special Use Permit. The Zoning Board of Appeals must indicate whether or not all the findings have been considered to substantiate the approval of a special use.

These findings have been adopted as the official Findings of Fact for the City of Loves Park, Zoning Board of appeals agenda item: **6005 Forest Hills Road (08-33-127-029)**
SUP Offsite signage

Chairman
Benjamin Danielson

Signature

Date



ZONING BOARD OF APPEALS

Community Development Department

Date: October 19, 2023

SUBJECT:	A Special Use Permit for off-site signage in the CR (Commercial Retail) Zoning District		
LOCATION:	5463 Harlem Road (08-33-126-013)		
ZONING DISTRICT:	North	IL (Light Industrial)	
	South	IL (Light Industrial)	
	East	CR (Commercial Retail) & R2 (Two-family Residential)	
	West	RU (Rural Urban)	
PROPERTY INFORMATION:			
Signage: Billboard			
Requirement for IL:	Front yard sign setback:	10 feet	
Provided:	Front yard sign setback:	10 feet	
Findings:			
1	The establishment of the special use will not be detrimental or endanger the public health. The special use is for signage, which does not generally pose any detrimental impacts to the public or area. The sign does appear to be in utility easement. The owner should locate the property boundaries and meet the setbacks for the signage.		
2	The special use will not be injurious to other properties in the immediate vicinity nor shall the establishment of the use diminish property values. Off-site signage has proven to not be problematic. Off-site signage has been approved by the Zoning Board of Appeals for other locations. The sign appears to meet the required setbacks and is high enough where there should not be any vision impediments. The approval should have some maintenance element included, which would require the owner/applicant to maintain the sign so it does not fall into disrepair or become unsightly.		
3	The establishment of the special use will not impede orderly development or improvements of the surrounding property because the sign is easily removable. It is unlikely that there will be any severe or adverse impacts to the zoning district for development.		
RECOMMENDATION:	Approval - A Special Use Permit for off-site signage in the IL (Light Industrial) Zoning District.		
	Conditions:		
	1. The Special Use Permit expires with the change in property ownership, or change in business ownership.		
	2. The property owner shall take out a permit for the sign within 30 days of the approval of the special use. The sign shall be set back 10 feet from the property line. Maintenance		

shall be required.

3. The property owner or business owner shall be prohibited from adding additional signage to the structure identified in Exhibit 1, dated October 4, 2023. Each sign shall not exceed 4' x 16' or 64 square feet for the total square footage. The special use is only for O'Connor's Heating Cooling and Electrical.
4. If the property owner or business owner is required to remove signage due to utility repairs, the signs may be reestablished at the size approved with this special use permit.
5. When the applicant establishes a business at this location, the temporary signage shall be removed and the owner/applicant shall meet the city's guidelines for business signage.

ATTACHMENTS:

See attachments

ZONING BOARD

RECOMMENDATIONS:

APPROVAL / DENIAL / TABLED

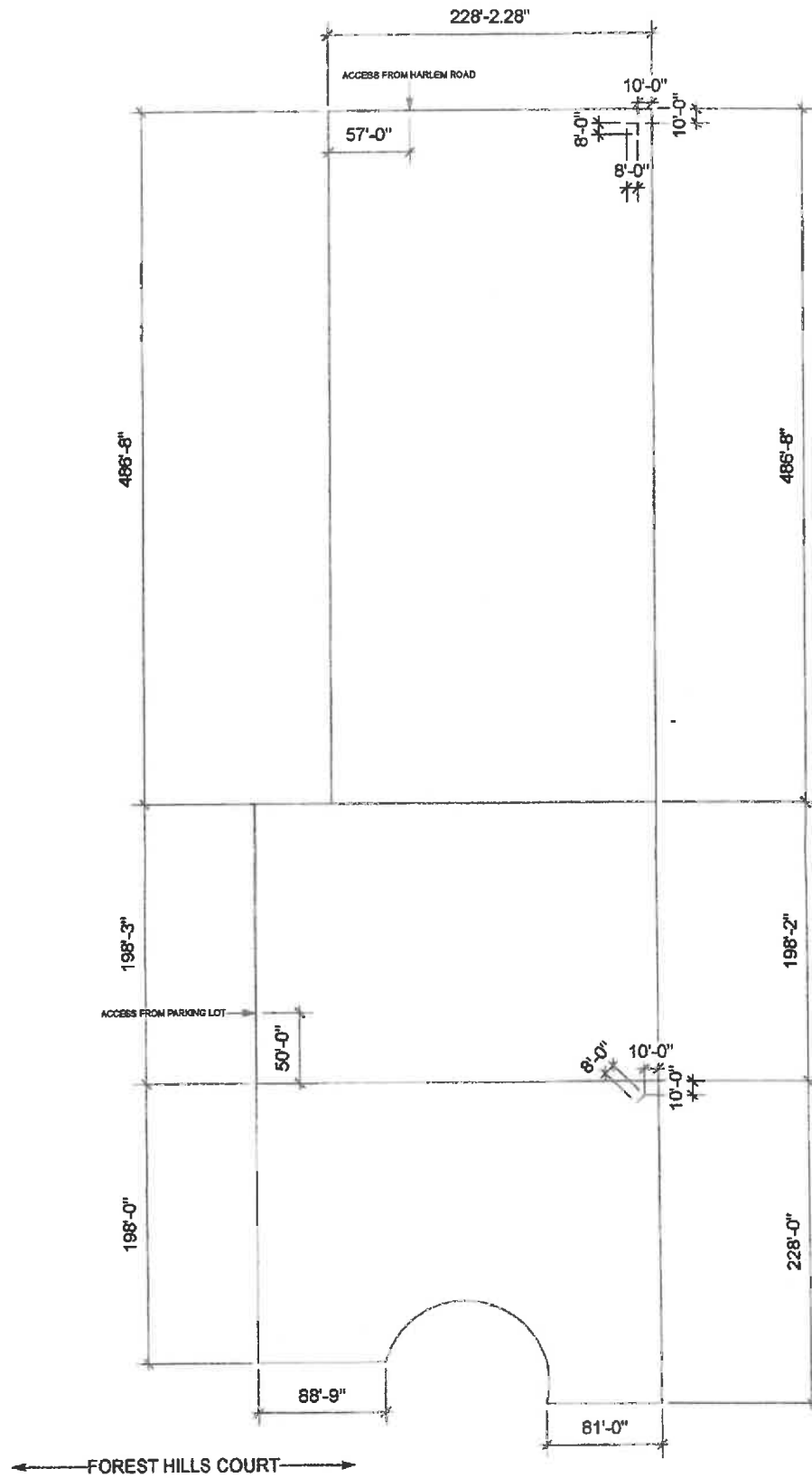
Vote: _____

CONDITIONS:

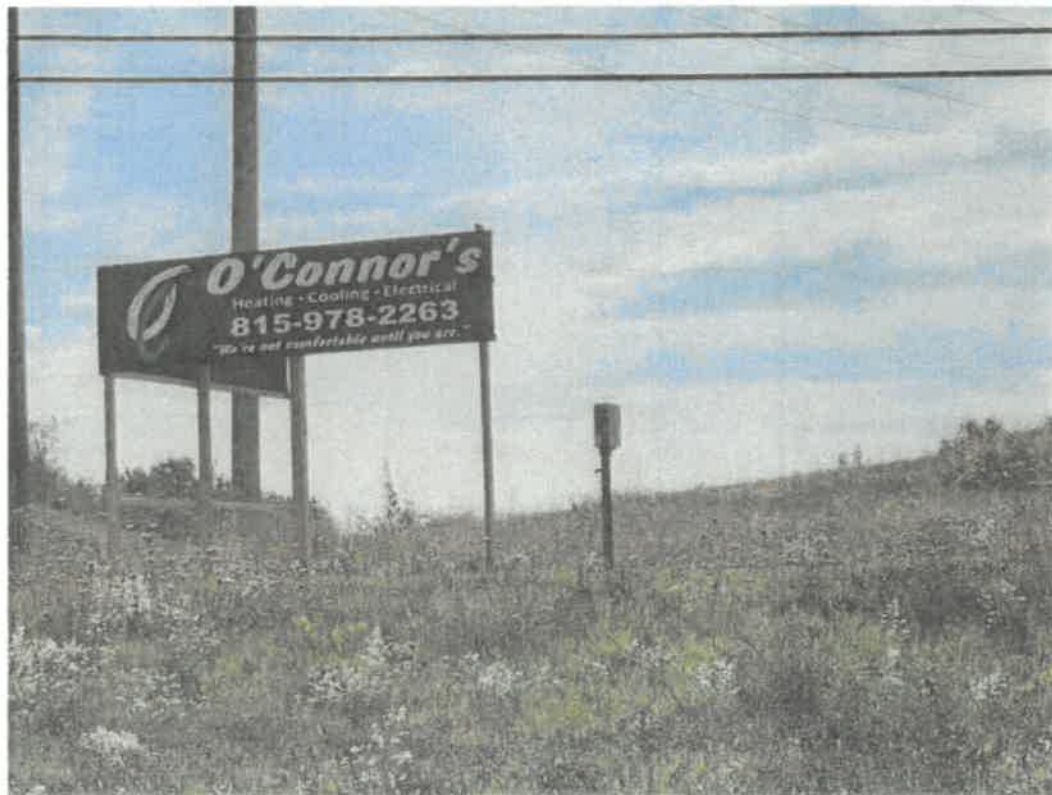
AS PRESENTED / AMENDED / N/A

AUDIENCE COMMENTS:

NOTE: SIGNS ARE 16'-0" HIGH



5463 Harlem Road, October 4, 2023 – 2 Signs,



Recommended Findings of Fact of City Staff based on the information provided by the applicant

Findings as Required by Loves Park Ordinance - Each enumerated finding must be met before a petition for a special use may be approved.

Mark **"Yes,"** if the findings have been considered and found to be relevant and true. Mark **"No,"** if the findings have been considered and found to be not true. If you mark **"No,"** please explain why in the space provided below each finding. Mark **"N/A,"** if the findings are not applicable to the situation.

5463 Harlem Road (08-33-126-013)

ZBA

- 1 ☐ The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Reason:

- 2 ☐ The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish and impair property values within the neighborhood.

Reason:

- 3 ☐ The establishment of the special use will not impede the normal orderly development and improvement of the surrounding property for uses permitted in the district.

Reason:

- 4 ☐ Adequate utilities, access roads, drainage and/or necessary facilities have been, are being, or will be provided.

Reason:

- 5 Adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets.

Reason:

- 6 The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located. The zoning officer shall forward the board of appeal's decision and records to the city council within ten days after action or within 45 days from the date of the public hearing if no action has been taken by the board of appeals.

These findings are based on staff interpretation of the required findings necessary for approval of a Special Use Permit. The Zoning Board of Appeals must indicate whether or not all the findings have been considered to substantiate the approval of a special use.

These findings have been adopted as the official Findings of Fact for the City of Loves Park, Zoning Board of appeals agenda item: **5463 Harlem Road (08-33-126-013)**
SUP Offsite signage

Chairman
Benjamin Danielson

Signature

Date



ZONING BOARD OF APPEALS

Community Development Department

Date: October 19, 2023

SUBJECT:	A Variance from a maximum allowable 1,500 square feet for accessory space to a requested 4,000 square feet for an accessory structure in the R1 (Single Family Residential) Zoning District.								
LOCATION:	6351 Harlem Road (08-34-127-004, 08-34-127-005, 0834-127-014 & 08-34-127-015)								
ZONING DISTRICT:	<table> <tr> <td>North</td><td>Loves Park - State Park</td></tr> <tr> <td>South</td><td>R1 (Single Family Residential)</td></tr> <tr> <td>East</td><td>R1 (Single Family Residential)</td></tr> <tr> <td>West</td><td>R1 (Single Family Residential)</td></tr> </table>	North	Loves Park - State Park	South	R1 (Single Family Residential)	East	R1 (Single Family Residential)	West	R1 (Single Family Residential)
North	Loves Park - State Park								
South	R1 (Single Family Residential)								
East	R1 (Single Family Residential)								
West	R1 (Single Family Residential)								
PROPERTY INFORMATION:									
R1 Requirements	Maximum allowable square footage for accessory space is 1,500 square feet.								
Provided:	The applicant is requesting a 4,000 square foot accessory structure above and beyond what is permitted in R1								
Findings:	<ol style="list-style-type: none"> 1 Strict interpretation of the regulation would not result in practical difficulty to the property owner. The home presently has accessory space totaling 1,036 square feet. The adjacent property where the applicant intends to build the 4,000 square foot accessory structure does have a 26' x 25' (650 square feet) foot accessory structure. The combined square footage is roughly 1,686 square feet. 2 The property owner does have conditions applicable to the property that do not apply to other properties in the area. The applicant does have almost 8 acres of residential property with the total combined lots. The zoning code is not reflective of residential properties of this size, but reflective of standard parcels much smaller than this. 3 Strict or literal interpretation would not deprive the applicant of privileges enjoyed by other property owners in the area. The applicant is requesting a larger accessory space to provide for recreational vehicles, and a hobby shop. The property can be used for its intended purpose. The applicant could increase the residential footprint to allow for such accessory space, but livable space like this can be excessive and unnecessary. 4 Granting the variance for the improvements does not constitute special privilege. Each applicant has the legal right to make such a request. The applicant will soon own parcels that will be roughly 8 acres. As mentioned earlier, the City's zoning code doesn't adequately address properties this size. Standard lot sizes range anywhere from a less than a 1/4 of an acre up to 3/4 of an acre, and not upwards of 8 acres for residential purposes. 5 The granting of the variation will not have an impact to the public health, safety, or welfare to other properties in the vicinity. The nature of the request is accessory space. Accessory 								

space does not generally impact the public or adversely impact the safety and welfare of residential districts.

RECOMMENDATION:

Approval

A Variance from a maximum allowable 1,500 square feet for accessory space to a requested 4,000 square feet for an accessory structure in the R1 (Single Family Residential) Zoning District.

ATTACHMENTS:

See attachments

**ZONING BOARD
RECOMMENDATIONS:**

APPROVAL / DENIAL / TABLED

Vote: _____

CONDITIONS:

AS PRESENTED / AMENDED / N/A

AUDIENCE COMMENTS:



ADDRESS: 6351 HARLEM ROAD (08-34-127-004, 08-34-127-005,
08-34-127-014 & 08-34-127-016)

ZONING DISTRICT: R1 (SINGLE FAMILY RESIDENTIAL)

APPLICANT: EDWARD NICKELS
5793 TANEY PLACE
MERRILLVILLE, INDIANA 46410

PROPERTY OWNER: ARNOLD AND KATHLEEN ROSEN
6351 HARLEM ROAD
LOVES PARK, ILLINOIS 61111

HARLEM ROAD

165.6

PIN: 08-34-127-004

533.6

EXISTING
2-STORY
RESIDENCE



PARCEL 1
1.995 ACRES

165.6

165.6
PARCEL 3
1.913 ACRES
PIN: 08-34-127-0014

PARCEL 2
2.018 ACRES
PIN: 08-34-127-0015

165.6

PIN: 08-34-127-005

6405
HARLEM

2.0 ACRES

EXISTING
24' GARAGE

26' x 25'

SPRINKLER
SYSTEM



80'

20-ft

PROPOSED
50' x 80' x 16' EAVE HEIGHT
METAL BLD'G
RECREATIONAL VEHICLE STORAGE

497.64'

525.64'

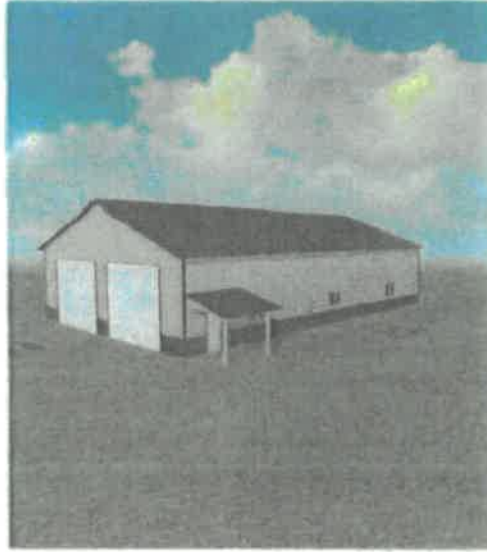
553.75'

162.87'

162.87'



FBI Buildings



Building Specs

Width: 48'
Length: 80'
Height: 16'
Roof Type: Gabled
Roof Pitch: 4.5":12"
Post Footing: Perma-Column

Colors

Roof Color: Forest Green
Wall Color: Surrey Beige
Trim Color: Forest Green
Walk Doors: Light Stone
Large Doors: Regal White
Track: Forest Green
Wainscot Color: Forest Green
Interior Panels: Regal White

Wainscot:

Front: Yes
Right: Yes
Back: Yes
Left: Yes
Wainscot Height: 3'

Interior

Perimeter Walls: Wood
Ceiling: None

Walls

F Wall: Enclosed
B Wall: Enclosed
L Wall: Enclosed
R Wall: Enclosed

Roof Options

F Gable Extension: 1'
B Gable Extension: 1'
L Eave Extension: 1
R Eave Extension: 1

Lean-tos

Porches

R Porch
Width: 10, Height: 10', Porch
Depth: 8', Porch Overhang: 1'

Windows & Doors

Slider Window Qty: 6
Overhead Ribbed Door Qty: 2

Item Sizes:

Walk Door Solid: w36' x h76'
Overhead Ribbed Door: w16' x h14'
Slider Window: w4' x h3'
Slider Window: w4' x h3'
Slider Window: w4' x h3'
Slider Window: w4' x h3'
Slider Window: w4' x h3'
Slider Window: w4' x h3'
Overhead Ribbed Door: w16' x h14'

FBIBuildings.com

(800) 552-2981

Recommended Findings of Fact of City Staff based on the information provided by the applicant

Findings as Required by Loves Park Ordinance - Each enumerated finding must be considered before a petition for a variation may be approved.

Mark "Yes," if the findings have been considered and found to be relevant and true. Mark "No," if the findings have been considered and found to be not true. If you mark "No," please explain why in the space provided below each finding. Mark "N/A," if the findings are not applicable to the situation.

6351 Harlem Road

ZBA

1. ☐ Strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of this chapter.

Reason:

2. ☐ There are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property that do not apply generally to other properties classified in the same zoning district.

Reason:

3. ☐ Strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties classified in the same zoning district.

Reason:

4. ☐ The granting of the variation will not constitute a grant of special privilege inconsistent with the limitations on the other properties classified in the same zoning district.

Reason:

5. ☐ The granting of the variation will not be detrimental to the public health, safety, welfare or material injurious to properties or improvements in the vicinity.

Reason:

- 6 - _____ The concurring vote of four members of the board shall be necessary to recommend the authorization of any variance in this chapter.

These findings are based on staff interpretation of the required findings necessary for approval of a variation. The Zoning Board of Appeals must indicate whether or not all the findings have been considered to substantiate the approval of a variation.

These findings have been adopted as the official Findings of Fact for the City of Loves Park, Zoning Board of Appeals agenda item: 6351 Harlem Road
Variance 1500 to 4000 sf accessory structure

Chairman
Ben Danielson

Signature

Date



ZONING BOARD OF APPEALS

Community Development Department

Date: October 19, 2023

SUBJECT:	A Special Use Permit to allow mini-warehouse storage with no outside storage in the CR (Commercial Retail) Zoning District.		
LOCATION:	6005 Shale Drive (08-33-251-002)		
ZONING DISTRICT:	North		
	South	CG (Commercial General)	
	East	R3 (Multi-family Residential) and CR (Commercial Retail)	
	West	R1 (Single Family Residential)	
PROPERTY INFORMATION:			
Building setbacks			
Requirement for CR:	Front yard building setback:	60 feet	
	Side yard building setback:	5 feet	
	Rear yard building setback:	20 feet	
Provided:	Front yard building setback:	60 feet	
	Side yard building setback:	25 feet and 28 feet	
	Rear yard building setback:	40 feet	
Dumpster enclosure:			
Required:	Enclosures for commercial properties shall be poured concrete or masonry and adequately shield containers within the enclosure. Material within the enclosures shall not extend above the height of the enclosure, be secured by a solid gate, and not extend to a height of six feet. The use of chain link fences and slats shall be prohibited in all districts.		
Provided:	The site plan does not show that an enclosure will be provided.		
Fence			
Required:	A fence shall not exceed 6 feet. No barbed wire or razor wire shall be permitted. The use of slats shall not be permitted.		
Provided:	The site plan shows that a security fence will be provided, but not completely surround the property. Supplemental information indicates that a fence will be black aluminum with arrowhead finials.		
Signage			
Required:	All freestanding signs shall not project higher than eight feet above grade level, or above the adjacent roadway as measured from the top of the curb nearest the freestanding sign location. A freestanding sign or base shall be enclosed, and pole supports shall not be visible. The material for the sign base shall include a base constructed of brick, stone, or masonry materials, and be matched in type and color to these materials used on the buildings on the		

premises if such materials are present. Freestanding signs shall include some combination of live planted shrubs and flowers. The landscaped area shall be mounded or elevated, and be protected from automobile traffic by curbing or some other effective barrier to the passage of automobiles. The base for the landscaped area shall be masonry materials and/or be matched in type and color to the materials used on the buildings.

Provided: The site plan shows the location of a sign, but none of the supporting documents provide information about the sign such as setback, landscaping, height, or materials.

**Landscaping
Required:**

Landscaping shall mean some combination of planted trees, shrubs, vines, ground cover, flowers or lawns. The landscaped strip shall be mounded a minimum of one foot above the height of the adjacent parking spaces but not exceeding a three to one slope and shall be protected from automobile traffic by curbing or some other effective barrier to the passage of automobiles. In addition, the combination or design may include rock ground cover not to exceed 20 percent of the total for any landscaped area, and such structured features as fountains, pools, art work, screens, walls, fences, or benches, but such objects alone shall not meet the requirements of this section. It is desirable and acceptable to include such nonliving structural features, but such objects shall always be used in combination with living plant material. The planting strip shall be a minimum of eight feet in depth and span the width of the frontage, excepting areas required as ingress/egress.

**Landscaping
Provided:**

The project will provide the area for landscaping, as outlined in the supporting materials. The landscape plan does not indicate that a berm designated for the landscape will be provided.

**Construction materials:
Required:**

The applicant is required to meet the materials standards in place for construction in the CR (Commercial Retailing) Zoning District. The materials list is attached. See elevations.

Provided: The elevations provided show that affinity stone was used for a frontage that was visible from a highway in another municipality. Staff reached out to the applicant to get further information on whether that was the intent at this location, but has not heard back.

Findings:

- 1 The establishment of the special use will not be detrimental or endanger the comforts of the public health. While is not a permitted use inherently, the use is relatively low impact to the area as uses go.
- 2 The special use will not be injurious to the area or property, and will not adversely impact or diminish property values within the area. The use will establish necessary offsite storage to the residents to the west in the trailer park, as well as, residents in the immediate vicinity. The use shall not be negatively impactful or promote overcrowding as long as outside storage is not approved with the special use.
- 3 The establishment of the special use will not impede normal orderly development or improvements for the surrounding properties. The area is zoned for commercial purposes, however, the use provides a much needed service for nearby residents who are extremely limited on space.
- 4 Adequate utilities, access, and drainage will be provided and reviewed during the plan review process for this development.
- 5 Adequate measures have been taken by the applicant to record proper access for ingress/

egress easements and utilities. There should not be any congestion to this property as the use is not a highly utilized use like other uses already permitted in the zoning district such as bar or restaurant. The use is a destination point. It is not a use that would promote regular or frequent visits to the site.

RECOMMENDATION:

Approval - A Special Use Permit to allow mini-warehouse storage units with no outside storage in the CR (Commercial Retail) Zoning District.

Conditions:

1. The Special Use Permit expires with the change in property ownership, or change in business ownership.
2. The mini-warehouse structures may be permitted to be built with metal siding and roofing for interior facing facades only. The metal siding and roofing shall be constructed using warm earth tones. All sides of structures facing Perryville Road shall be completely covered with masonry (warm earth tone infinity stone panels). This plan shall be acceptable given the types of materials used for constructing these types of structures is generally corrugated aluminum panels.
3. The monument sign on the site plan shall meet the City's requirements for monument signs in Section 102-284. No signage shall be placed on a Perryville facing structure, except for the Kiosk building and the monument sign.
4. The owner shall be required to install a poured concrete dumpster enclosure. The placement shall be coordinated with Staff.
5. If the applicant or property owner installs a fence around the property it shall mirror the back aluminum fence being installed shown in the supporting documentation. No barrier screening shall be permitted on any fence or gate.
6. The Special Use Permit shall be renewed 1 year from the date of approval.
7. The property owner or business owner shall provide irrigation for landscaping beds and areas around the property. The applicant or property owner shall be required to install a mounded continuous 8 foot deep landscape buffer across the entire Perryville frontage. The applicant shall provide 6 additional trees within the landscape buffer on Perryville Road. The 6 additional trees some variety of pine that was grow to a height of 15 feet or taller at maturity. The landscape plan shall be approved by Staff.
8. The business owner or land owner shall be responsible for the maintenance, repair, and replacement of all landscaping and materials. Landscaping, in or out of landscape beds, shall be maintained in a healthy growing condition free from disease, refuse, debris, and weeds at all times.
9. The business owner or property owner shall not be allowed any outside storage.

ATTACHMENTS:

See attachments

ZONING BOARD

RECOMMENDATIONS:

APPROVAL / DENIAL / TABLED

Vote: _____

CONDITIONS:

AS PRESENTED / AMENDED / N/A

AUDIENCE COMMENTS:

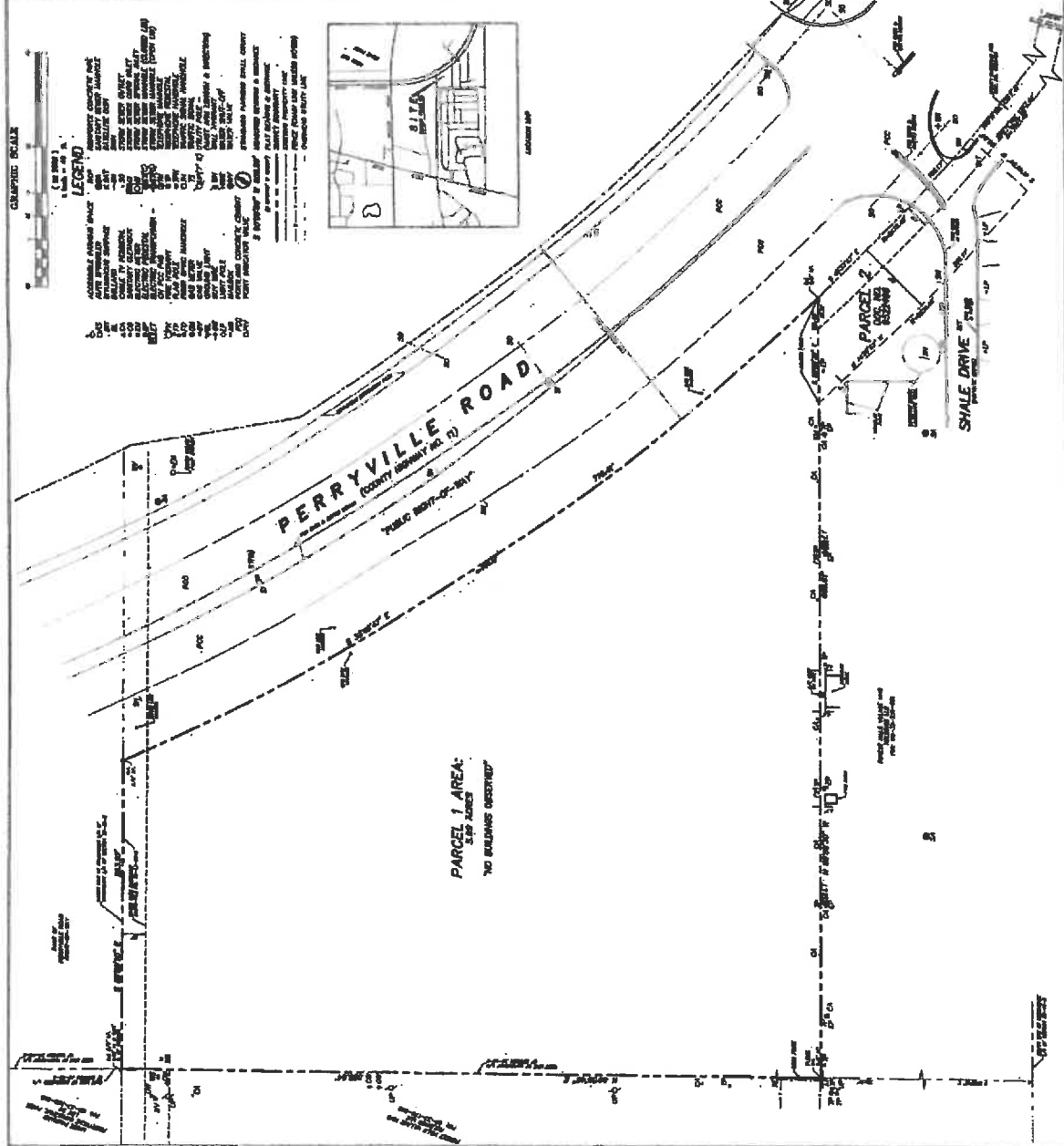
PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST
1/4 OF SECTION 33, TOWNSHIP 45 NORTH, RANGE
2 EAST, OF THE THIRD PRINCIPAL MERIDIAN
CITY OF LONES PARK
WINNEBAGO COUNTY, ILLINOIS
FEBRUARY, 2023

JAMES E. HARRIS, SECRETARY, CHAIRMAN OF THE NATIONAL BOARD OF DIRECTORS OF THE NATIONAL ASSOCIATION OF REALTORS, 1300 K STREET, N.W., WASHINGTON, D.C. 20004, ADVISED THAT HE HAD BEEN ADVISED BY AN INDIVIDUAL WHO IDENTIFIED HIMSELF AS "AL" THAT HE HAD BEEN CONTACTED BY AN INDIVIDUAL WHO IDENTIFIED HIMSELF AS "AL" AND THAT HE HAD BEEN ADVISED THAT HE HAD BEEN CONTACTED BY AN INDIVIDUAL WHO IDENTIFIED HIMSELF AS "AL" AND THAT HE HAD BEEN ADVISED THAT HE HAD BEEN CONTACTED BY AN INDIVIDUAL WHO IDENTIFIED HIMSELF AS "AL".

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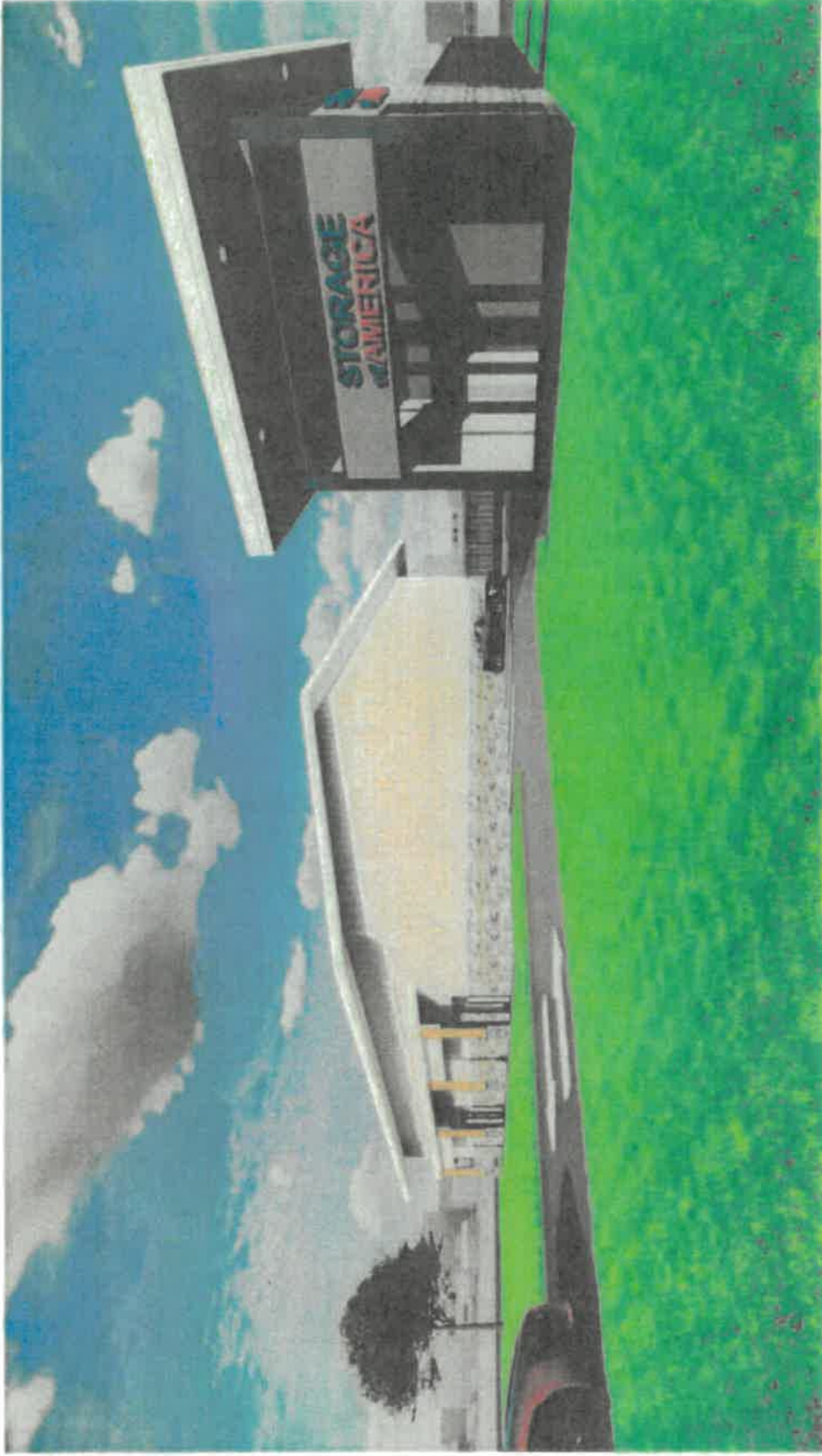
2007 PASTORAL OF THE CHURCH IN AMERICA—A PASTORAL MESSAGE FROM THE GENERAL SYNOD OF THE LUTHERAN CHURCH IN AMERICA. **2007 PASTORAL OF THE CHURCH IN AMERICA**—A PASTORAL MESSAGE FROM THE GENERAL SYNOD OF THE LUTHERAN CHURCH IN AMERICA.

11119 BOWTIE PARK LANE, SUITE 1000, KODAK CITY
 274.667-1512 (ext. 200) www.rkj.com
 800.999.4444 OR BOWTIE@RJ.COM VISITUS@RJ.COM
 11119 BOWTIE PARK LANE, SUITE 1000, KODAK CITY
 274.667-1512 (ext. 200) www.rkj.com



Storage of America is requesting a variance of this requirement for the following reasons.

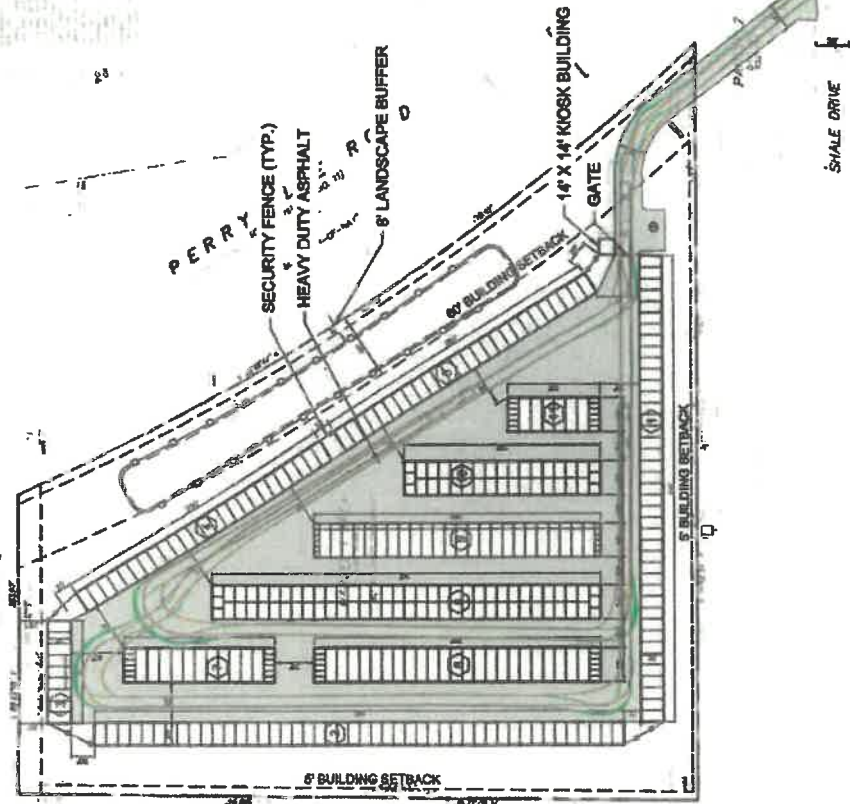
- 1) There are no current buildings in the area with similar exterior building finishes in the immediate area of our proposed development. There is a mobile home park, Forest Hills Village that neighbors our west property line, there is a low vegetated area to the north, and an existing storage facility Loves Park Storage on the other side of Forest Hills Village both which do not have the same building treatments we are being asked to provide on our buildings, both interior to the development and exterior.
- 2) The storage building industry does not make building exteriors in this manner which would require special order buildings, increasing the cost of the materials needed for the project by as much as 150%.
- 3) Labor to erect such buildings would be increased by as much as 100% over conventional storage building construction.
- 4) The additional construction cost would price our project out of the price ranges of any storage facility within 50 miles or more of the Rockford Illinois area market, burdening our use to such a degree that most people would not be able to afford storage.
- 5) We would not be able to compete with our competition on price. Our price points would be twice as much as the area competition.



STORAGE OF AMERICA
MERRILLVILLE, IN

PERSPECTIVE

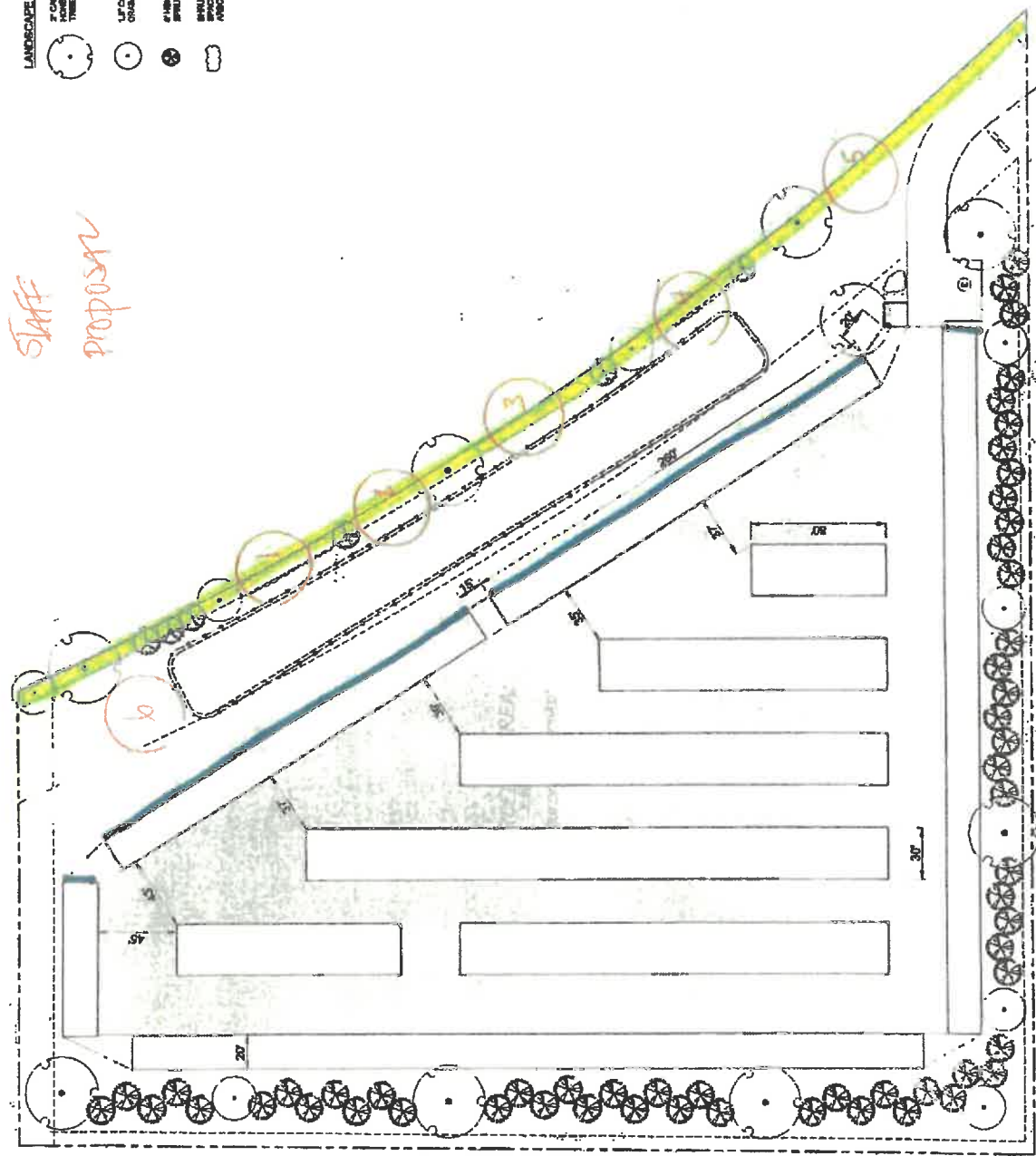




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LANDSCAPE LEGEND

- [illegible]

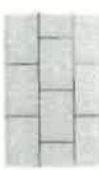


Staff

**TYPICAL COLOR SCHEME:
METAL SIDING - WHITE
DOORS - BLUE
ROOF - WHITE
STONE VENEER - OFF WHITE**

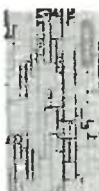


**TYPICAL BUILDING END WALL ELEVATION
WHITE METAL SIDING WITH BLUE DOORS**



**NOVAERICK SPLIT FACE
MARBLE WHITE COLOR**

OR STORAGE OF AMERICA APPROVED EQUAL



OR
AFFINITY STONE SIDING
LACIER COLOR



TYPICAL BUILDING END WALL ELEVATION
WHITE METAL SIDING



BUILDING A & B END WALL ELEVATIONS - VISIBLE FROM BUSHA HWY
AFFINITY STONE SIDING • GLACIER COLOR



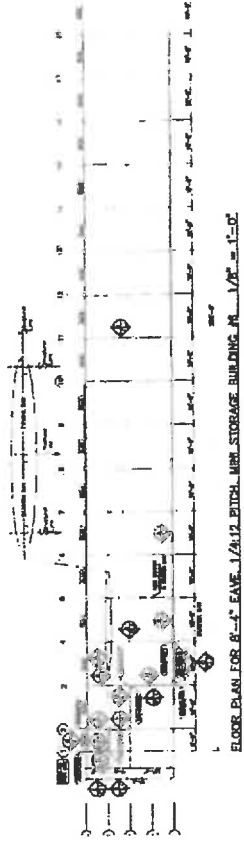
**TYPICAL BUILDING WALL ELEVATION
WHITE METAL SIDING**



BUILDING A NORTH WALL ELEVATION - VISIBLE FROM BUSHA HWY
AFFINITY STONE SIDING • GLACIER COLOR WITH BLUE DOORS



BUILDING B WEST WALL ELEVATION - VISIBLE FROM BUSHA HWY
AFFINITY STONE SIDING - GLACIER COLOR



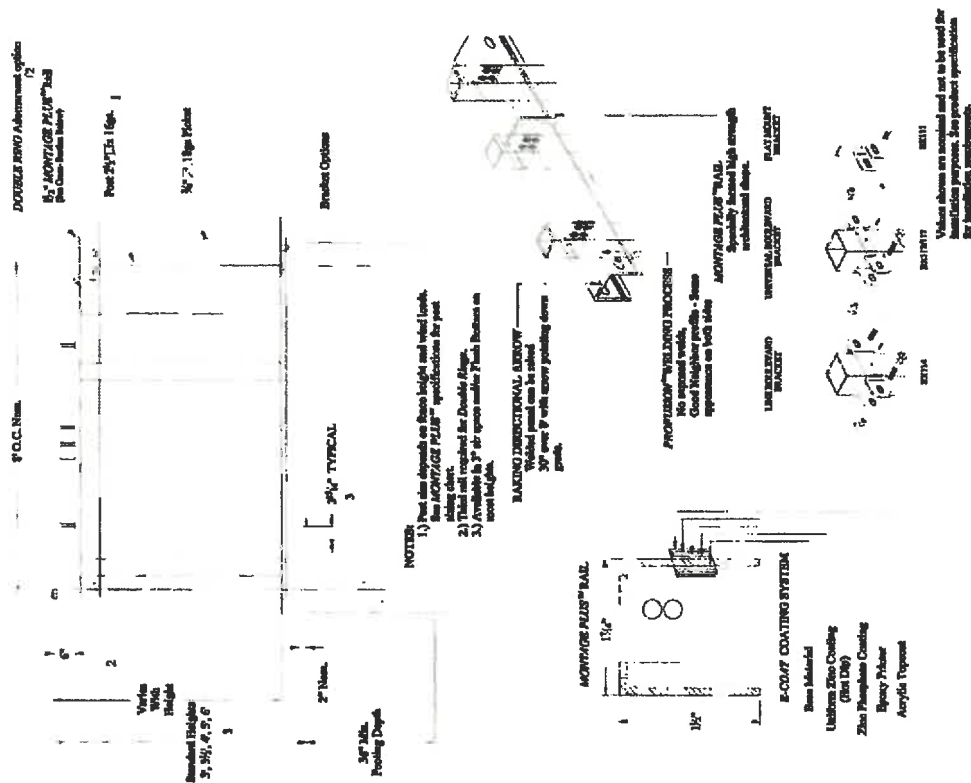
DOOR SCHEDULE		DOOR SCHEDULE	
NO.	DESCRIPTION	NO.	DESCRIPTION
1	DOOR 1	11	DOOR 11
2	DOOR 2	12	DOOR 12
3	DOOR 3	13	DOOR 13
4	DOOR 4	14	DOOR 14
5	DOOR 5	15	DOOR 15
6	DOOR 6	16	DOOR 16
7	DOOR 7	17	DOOR 17
8	DOOR 8	18	DOOR 18
9	DOOR 9	19	DOOR 19
10	DOOR 10	20	DOOR 20

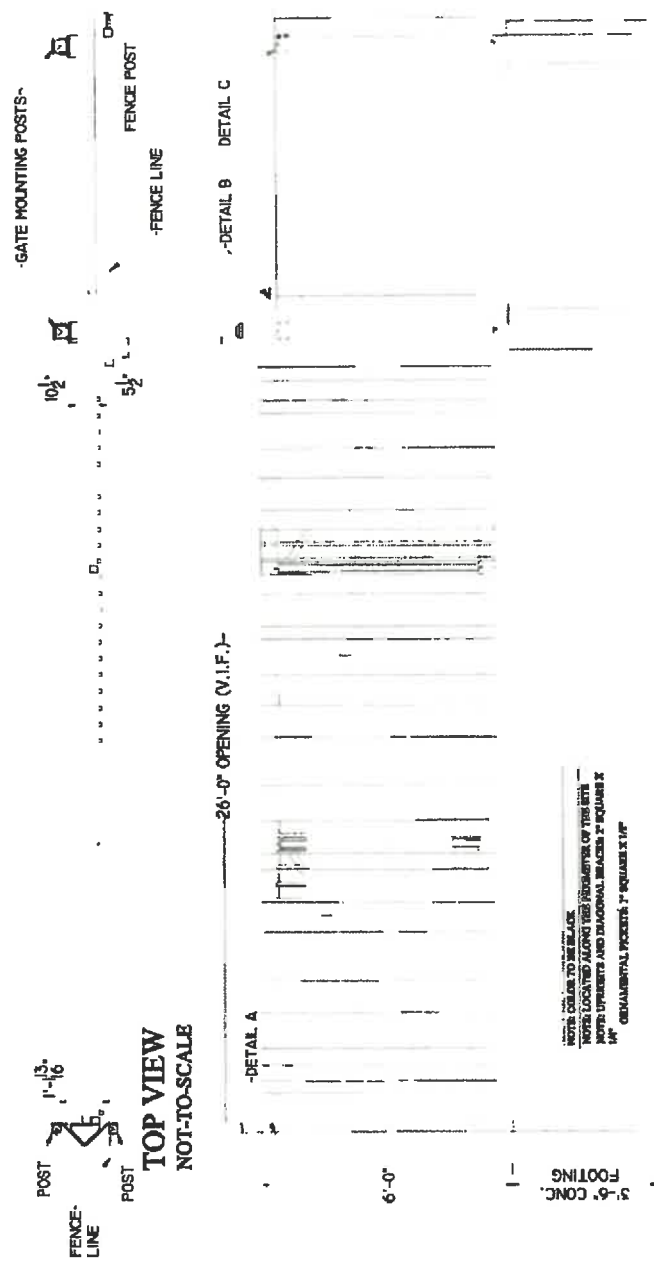
DOOR SIZES MAY VARY DUE TO MANUFACTURING TOLERANCES.

END WALL ELEVATION

SOX WALL ELEVATION

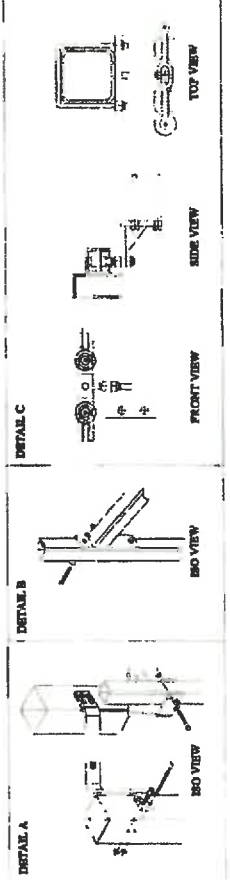
SOX WALL ELEVATION



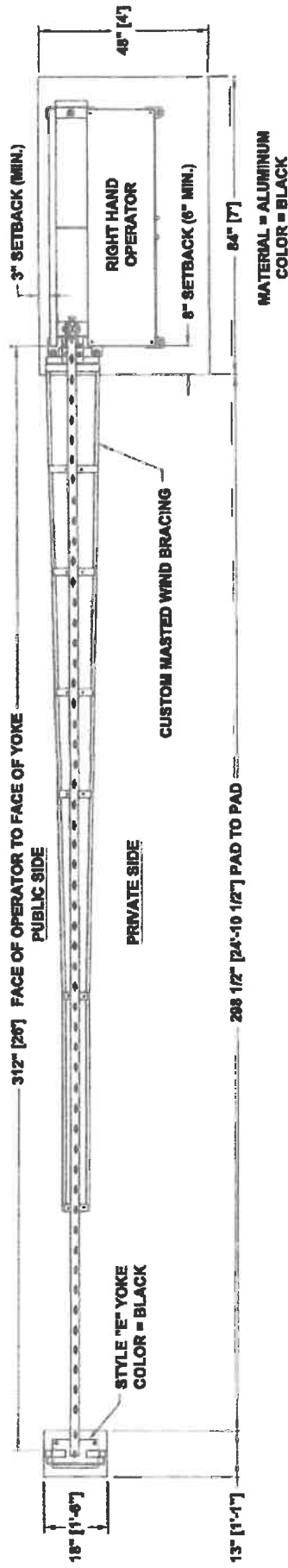


TYPICAL ALUMINUM SLIDE GATE - ELEVATION
NOT-TO-SCALE

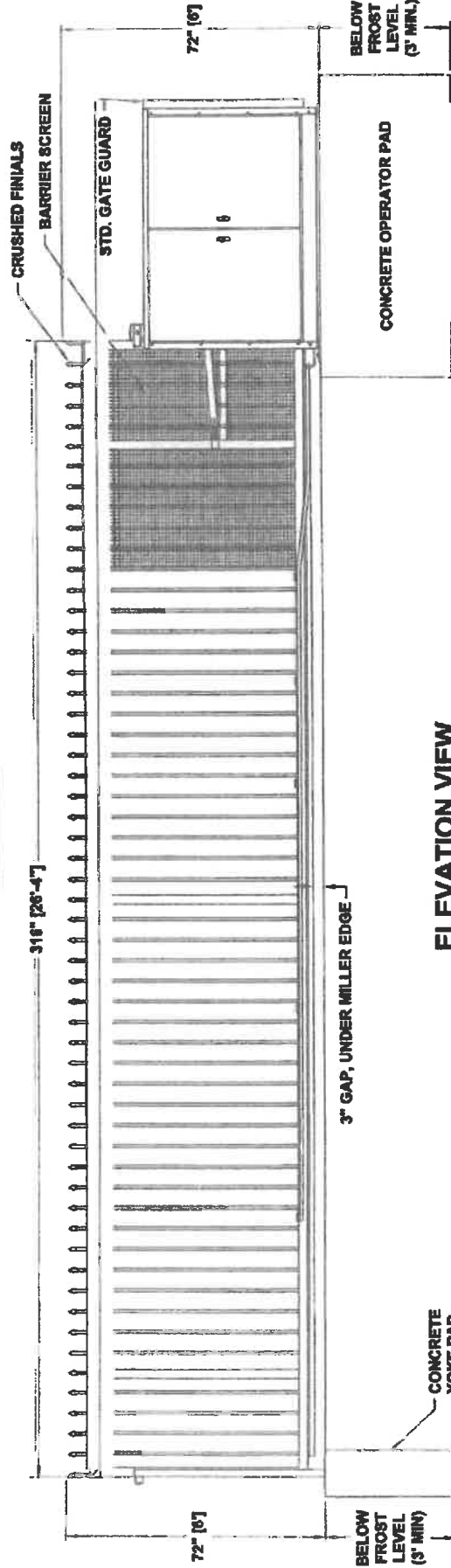
APPROVAL OF THE DETAILS CONTAINED WITHIN
THIS SUBMITTAL DOCUMENT SHALL CONSTITUTE
A BINDING AGREEMENT TO ACCEPT FABRICATION
AND CONSTRUCTION OF RAILS AS INDICATED
HEREIN.



10685



PLAN VIEW



ELEVATION VIEW

Viewed from the PRIVATE SIDE

CUSTOMER PROVIDED AUTOGATE WITH A SITE DRAWING OR SKETCH (YES X NO)

CUSTOMER SIGNATURE:

DATE SIGNED:

NOTICE THIS DRAWING IS THE PROPERTY OF AG AUTO GATE SYSTEMS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF AG AUTO GATE SYSTEMS, INC.	Date Drawn:	02/15/23
	Drawn By:	MINOS
	Checked By:	KAY
	Page:	1 of 1



AG Auto Gate
Auto Gate Systems, Inc.
10000 15th Ave. S.
Buckeye, AZ 85326

DO NOT SCALE

Rev.	Date	By	Description
1			


ELEVATION VIEW
Viewed from the PRIVATE SIDE

CRUSHED FINIALS
BARRIER SCREEN
STD. GATE GUARD
CONCRETE OPERATOR PAD
3" GAP, UNDER MILLER EDGE
CONCRETE YOKE PAD
BELOW FROST LEVEL (3" MIN.)
72" [6']
316" [26'-4"]
72" [6']
BELOW FROST LEVEL (3" MIN.)

Viewed from the PRIVATE SIDE

DATE SIGNED:

THIS INFO CONTAINS SERIALS DOCUMENTS AND/OR RESEARCH MATERIALS REPRODUCED IN ANY FORM OR BY ANY MEANS IS UNLAWFUL IN ANY COUNTRY IT IS RETURNED TO THE OFFICE OF ORIGIN UNLESS OTHERWISE NOTED	DATE DUE: 02/18/23	001423
	DRAWN BY: MKC	
	CHECKED BY: KAY	
	DRAWN:	



AutoGate
Auto Entry Solution
P.O. Box 1000
Rochester, NY 14603
Tel: (716) 232-3434

Time: Buckeye "500" VPG (26" x 6")

Size: 500S-26 Storage of America, American Force & Supply-M

UNLAWFUL IN ANY COUNTRY

IT IS RETURNED TO THE

OFFICE OF ORIGIN

UNLESS OTHERWISE

NOTED

Recommended Findings of Fact of City Staff based on the information provided by the applicant

Findings as Required by Loves Park Ordinance - Each enumerated finding must be met before a petition for a special use may be approved.

Mark "Yes," if the findings have been considered and found to be relevant and true. Mark "No," if the findings have been considered and found to be not true. If you mark "No," please explain why in the space provided below each finding. Mark "N/A," if the findings are not applicable to the situation.

6005 Shale Drive

ZBA

- 1 _____ The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Reason:

- 2 _____ The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish and impair property values within the neighborhood.

Reason:

- 3 _____ The establishment of the special use will not impede the normal orderly development and improvement of the surrounding property for uses permitted in the district.

Reason:

- 4 _____ Adequate utilities, access roads, drainage and/or necessary facilities have been, are being, or will be provided.

Reason:

- 5 Adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets.

Reason:

- 6 The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located. The zoning officer shall forward the board of appeal's decision and records to the city council within ten days after action or within 45 days from the date of the public hearing if no action has been taken by the board of appeals.

These findings are based on staff interpretation of the required findings necessary for approval of a Special Use Permit. The Zoning Board of Appeals must indicate whether or not all the findings have been considered to substantiate the approval of a special use.

These findings have been adopted as the official Findings of Fact for the City of Loves Park, Zoning Board of appeals agenda item: **6005 Shale Drive**
SUP - mini-warehouse storage

Chairman
Benjamin Danielson

Signature

Date



ZONING BOARD OF APPEALS

Community Development Department

Date: October 19, 2023

SUBJECT:	A Special Use Permit to allow a car wash establishment in the CR (Commercial Retail) Zoning District.
LOCATION:	6245 N. Second Street and 519 Theodore Street
COMPREHENSIVE PLAN:	The City of Loves Park Comprehensive Plan identifies the area for the use of commercial retail.
ZONING DISTRICT:	North CR (Commercial Retail) South CR (Commercial Retail) East R1 (Single Family Residential) West CR (Commercial Retail)
PROPERTY INFORMATION AND RELEVANT FACTS:	
Building Setback:	
Required:	Front yard: 60 feet, 30 feet Side yard: 5 feet Rear yard: 20 feet
Provided:	Front yard: 60 feet Side yard: 5 feet Rear yard: 20 feet
Landscaping:	
Required:	The applicant is required to provide a mounded landscape buffer across all frontages. The buffer is required to be 8 feet in depth, observing ingress/egress. The landscaping is required to be composed of a combination of trees (including evergreens), shrubs, ground cover, and some combination of live plants that should be salt tolerant.
Provided:	The landscape plan provided shows that a broken landscape area will be provided. The plan outlines areas on the property where plants will be provided.
Parking:	
Required:	There will be two to four employees during regular business operations. Four stalls are required, with one accessible stall.
Provided:	The development will provide 23 stalls for all uses. No further parking is required.
Trash Enclosure:	

Required: Enclosures for commercial and industrial properties and businesses shall be poured concrete or masonry to adequately shield containers within the enclosure. Material within the enclosure shall not extend above the height of the enclosure, be secured by a solid gate, and not exceed a height of six feet. The use of chain link fences and slats shall be prohibited in all districts.

Provided: The trash enclosure is identified on the side plan and will be provided. No indication of the materials is provided.

Fence Height: The special use that was granted to the prior applicant was granted with permission to install an 8 ft masonry wall to help mitigate noise and light pollution that would be generated as a result of the establishment of the use.

Required: Maximum height for a fence is 6 feet.

Provided: The site plan does not clearly identify a fence on the property.

Findings

1, 2

The establishment of the special use should not be a detriment to area or negatively impact the adjacent property values for businesses or residential land owners. If the business owner is required to install the landscaping approved for the previous owner, and provide the 8 foot wall, this will be the necessary precautions to control any noise and artificial light generated by the establishment of the use. Both properties are commercial retail. Both properties could be developed for uses that are much more intense to the area such as bars or restaurants. Generally, when performance safeguards are put in place for newly established uses, the impact to the area is minimized. It is unlikely that the establishment of the use will adversely impact land values. The properties had fallen into disrepair over the years. The development of the site will improve the conditions of the property.

3

The development for this property should not impede or impact development for surrounding permitted uses in the district. The development of these properties will generate some increased traffic to the area, which is normal for new businesses. The area has little to no land available for new development. Commercial development for this area has stalled, however, new uses have been established, utilizing existing structures. It's likely how this area will see improvements.

4, 5

The establishment will provide adequate access and utilities as part of redeveloping the site. Measures will be taken to provide sufficient ingress/egress to help mitigate any issues related to traffic congestion.

RECOMMENDATION: **Approval** - A Special Use Permit to allow a car wash establishment in the CR (Commercial Retail) Zoning District.

Conditions:

1. The Special Use Permit expires with the change of in property ownership, change in business ownership, or the discontinuance of the car wash establishment.
2. A mixed masonry wall, up to a height of 8 feet, along the eastern property line shall be allowed for 519 Theodore Street, and mirror the wall established at the Elgin, Illinois Rainstorm car wash location. The 8 foot wall shall extend to the recorded 25 foot building setback line on Theodore, and drop down to 4 feet, to the property line. The mixed masonry wall shall be warm earth tone stone, and

shall extend south on the easterly property line of 519 Theodore Street. The increased height of the wall shall aide in the reduction of noise and artificial light generated by the establishment of the use.

3. The Special Use Permit shall be renewed 1 year from the date of approval.
4. The applicant shall provide staff with an updated landscape plan within 30 days of the approval of the special use. The plan shall mirror the landscaping plan provided with the prior Extreme Clean approval in 2022. The business or land owner shall be responsible for the maintenance, repair, and replacement of all landscape plants and materials. The plants, materials, and landscape beds shall be tended to and maintained in a healthy growing condition, and free from refuse, debris, and weeds at all times. Irrigation for all landscape areas shall be provided.
5. The accessory structure in the required building setback, on the N. Second Street frontage, will be allowed due to the limitations in configuration for this development.
6. The trash enclosure shall be masonry and match in materials as the 8 foot wall on the eastern property line. The use of chain link shall not be allowed.
7. The colors used for the building shall be warm earth tone colors, and match or compliment the materials used for the dumpster enclosure and 8 foot fence.
8. The hours of operations shall be limited due to the vacuums and the location of the the blowers. The business shall only be permitted to operate from 8am to 7pm.

ATTACHMENTS:

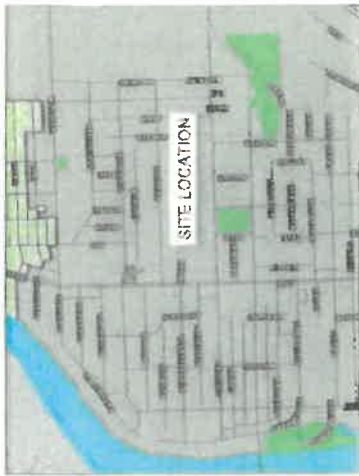
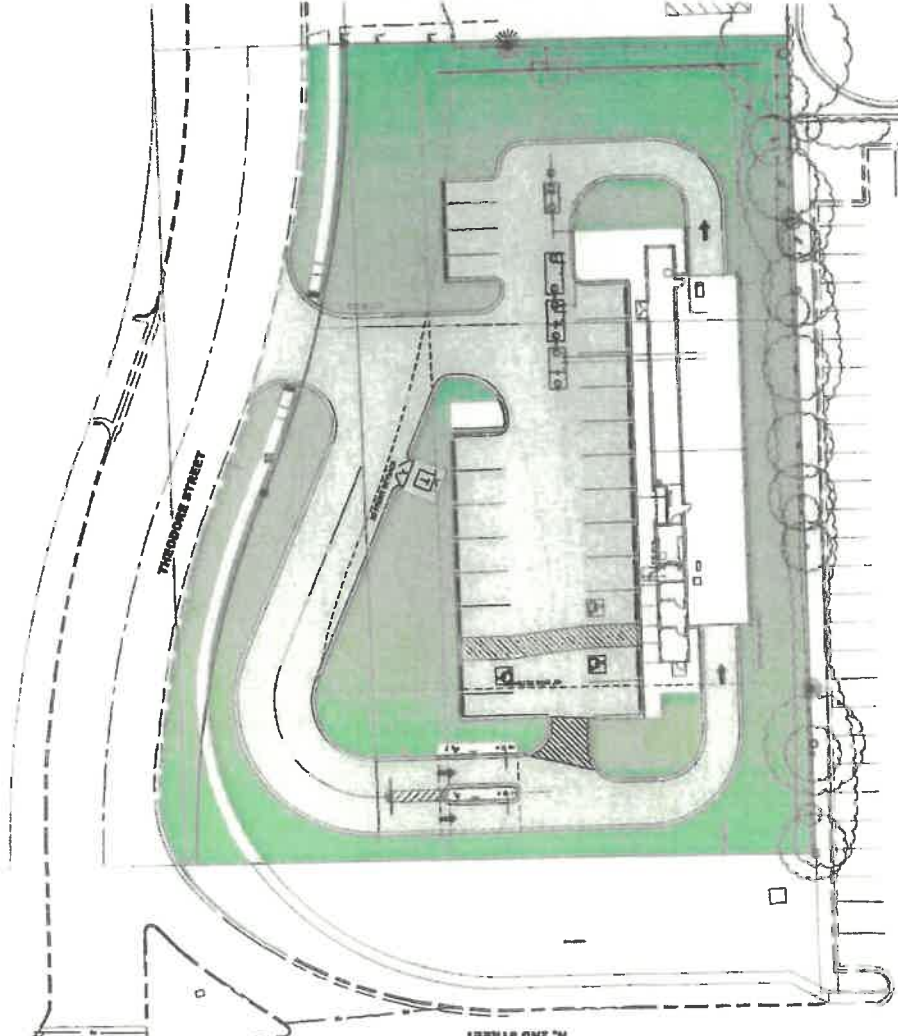
See attachments

VOTE:

Approve / Deny / Lay Over

**AUDIENCE
COMMENTS:**

CITY OF LOVES PARK, ILLINOIS WINNEBAGO COUNTY PLANS FOR BUILDING, SITE GRADING, AND UTILITIES AT 6245 NORTH 2ND ST. PREPARED BY VJ ENGINEERING SEPTEMBER, 2023



LAND USE:
TOTAL SITE AREA = 1.25 ACRES
EXISTING IMPERVIOUS AREA = 0.59 ACRES
TOTAL IMPERVIOUS AREA = 0.69 ACRES
SITE IS 84.4% IMPERVIOUS

FINISHED FLOOR ELEVATION:
FFE = 732.17

OWNER/APPLICANT:
ALAN KIRCHOFF - TR BUILDING & DEVELOPMENT
13103 DOVER AVENUE
LUGBOCK, TX 79424
PH. (806) 385-7843

SITE PLAN PREPARED BY:
VJ ENGINEERING
1804 TECHNOLOGY PARKWAY SUITE 100,
CEDAR FALLS, IOWA 50613

PROJECT SITE ADDRESS:
6245 NORTH 2ND STREET
LOVES PARK, WINNEBAGO COUNTY, IL

CURRENT ZONING:
CR - COMMERCIAL RETAIL ZONING DISTRICT

SHEET NO.	SHEET NAME	REVISION DATE
1	COVER SHEET	
2	EXISTING CONDITIONS AND UTILITIES PLAN	
3	CIVIL SITE PLAN	
4	GRADING PLAN	
5	CIVIL SITE DETAILS	
6	STORM WATER POLLUTION PREVENTION PLAN	
7	SITE LANDSCAPE PLAN	

NOTES:
1) SCALE NOTED ON TITLE BLOCK RELATES TO FULL-SIZED PLOTS (220'x44').
2) CONTRACTOR SHALL CONTACT ENGINEER OF RECORD FOR CLARIFICATION PRIOR TO
CONSTRUCTION. ANY CHANGES TO PLANS OR SPECIFICATIONS ARE TO BE MADE IN
CONFORMANCE WITH THE STANDARD SPECIFICATIONS FOR MUNICIPAL IMPROVEMENTS WITHIN THE CITY
OF LOVES PARK, ILLINOIS.

THE CONSTRUCTION OF THE SANITARY, STORM, SEWER, AND WATER SYSTEMS SHALL BE IN
ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR MUNICIPAL IMPROVEMENTS WITHIN THE CITY
OF LOVES PARK, ILLINOIS.

I hereby certify that the accompanying documents were
prepared by me or under my direct personal supervision
and that I am a duly Licensed Professional Engineer in the
State of Illinois.

DANIEL M. ARENDT, P.E.
DATE

30 days renewal date is December 31, 2024

Pages or sheets covered by this set:

All sheets in index



Call before you dig
It's a free service

238077

VJ Engineering
1501 Technology Parkway
Cedar Falls, Iowa - 319-266-5829



COVER SHEET
CHAMPION XPRESS CAR WASH
8245 NORTH 2ND STREET
LOVES PARK, WINNEBAGO COUNTY, IL 61111

Sheet	1
Scale	1"=30'
North	North Arrow
Author	SK
Checker	SK
Date	2023.09.28
Revision	

238077

John Capone Properties, Inc.
Lewy Park, N. Y. 11550
Tel. (516) 466-1000
Fax (516) 466-1000
www.john-capone.com
George W. Lerner, Jr., 164-495-254

**EXTREME
CLEAN \$3.00
EXPRESS CAR
WASH**
6245 N 2ND ST
LOVES PARK,
IL 61111

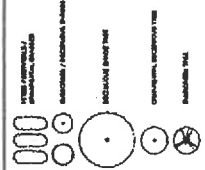
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LANDSCAPE PLAN

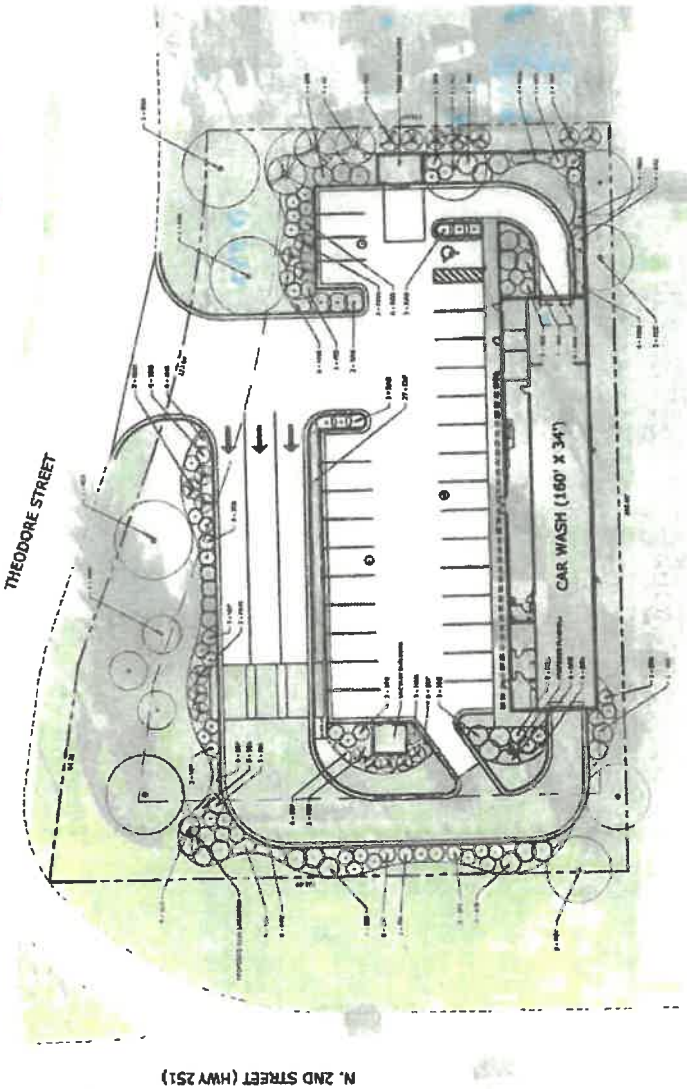
2001
LARRY WEAVER
101



PLANT LEGEND

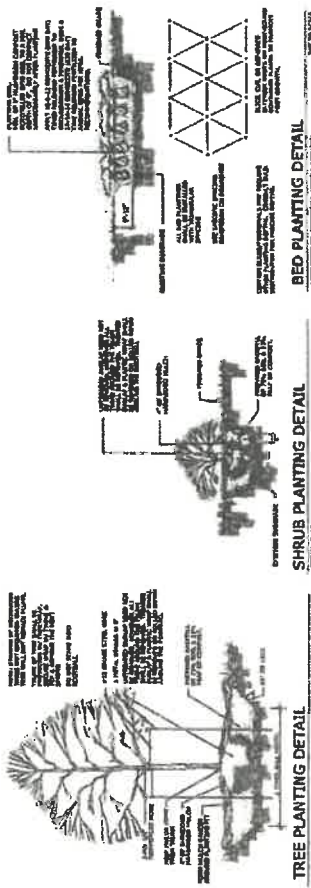


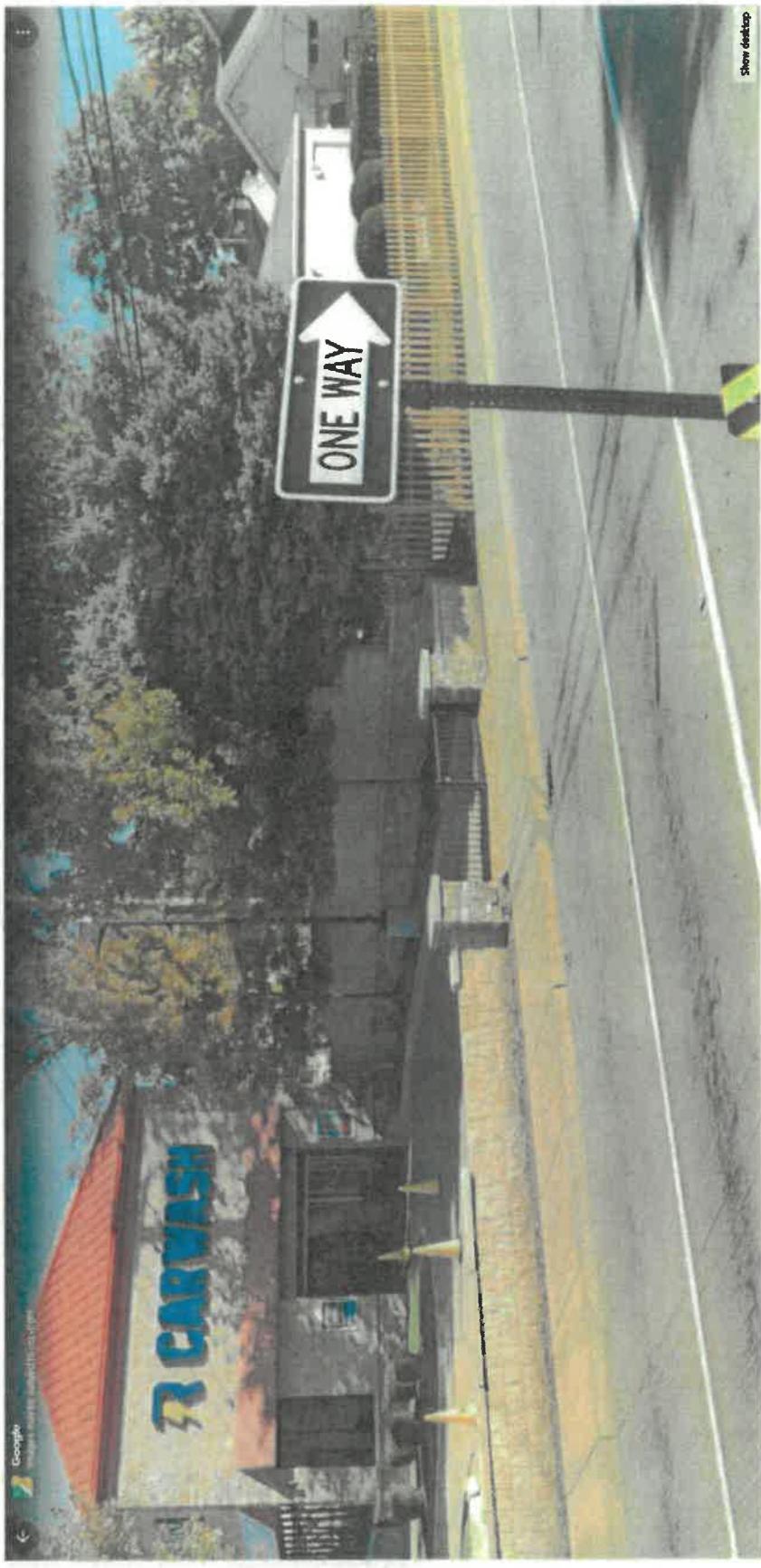
PLANT LIST

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PLANTING NOTES

- [illegible]





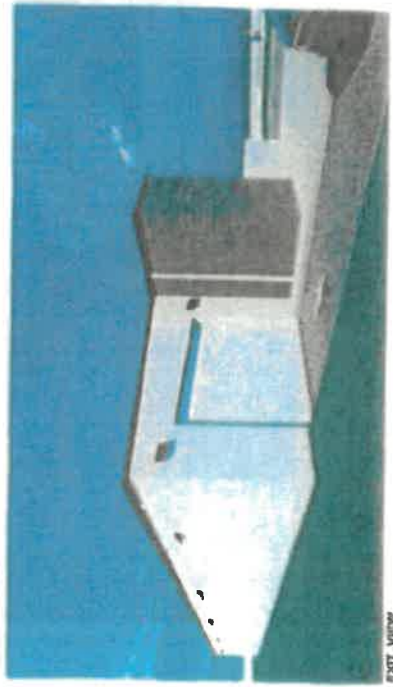
Show desktop



AERIAL VIEW



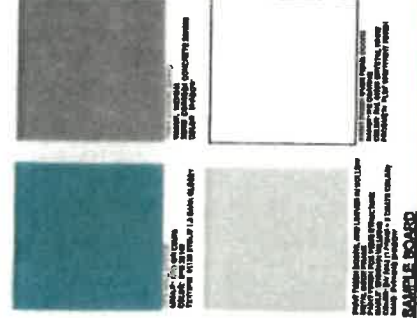
ENTRANCE VIEW



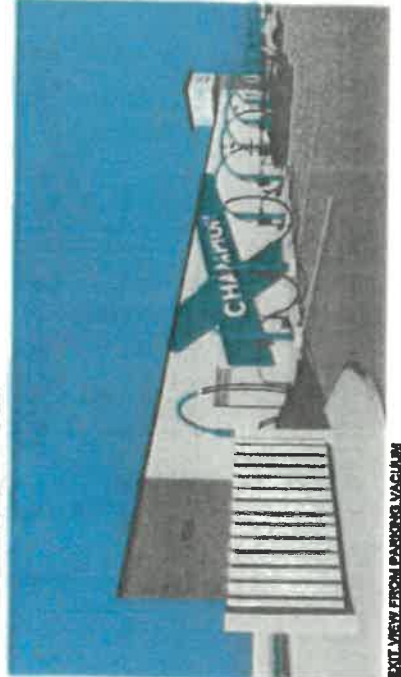
EAST VIEW



ELECTRONIC MATERIAL SAMPLE BOARD



ENTRANCE VIEW FROM PARKING VACUUM



EAST VIEW FROM PARKING VACUUM

HELT DESIGN
ARCHITECTURE INTERIOR
8405 W. WILSONSON
BLVD. STE. 100
RELMONT, NC 28139
704.242.1886
HELTDESIGN.COM
PROJECT NAME
CHAMPION EXPRESS
CAR WASH
AND
DEVELOPMENT
FOR 78 BUILDING
PROJECT TWO
PROJECT ADDRESS
23904
SHEA BLVD. 2ND ST.
LOWER PAUL, N.C. 28111

CHAMPION EXPRESS
CORPORATE IDENTITY
SHEA BLVD. 2ND ST.
LOWER PAUL, N.C. 28111
PROJECT TWO
PROJECT ADDRESS
23904
SHEA BLVD. 2ND ST.
LOWER PAUL, N.C. 28111

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LOWER PAUL, N.C. 28111
PROJECT TWO
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23904
SHEA BLVD. 2ND ST.
LOWER PAUL, N.C. 28111

A-R-EN

RENDERING ELEVATIONS

CONCEPTUAL IMAGE OF SINGLE TENANT MONUMENT SIGN. SIGN CONTRACTOR TO SUBMIT SIGN DESIGN DRAWING AND PERMIT APPLICATION UNDER 15 DAY PERIOD.



PERSPECTIVE STREET VIEW FROM THEODORE ST. AND N. 2ND ST. INTERSECTION



PERSPECTIVE STREET VIEW FROM N. 2ND ST. INTERSECTION



PERSPECTIVE STREET VIEW FROM THEODORE ST.

THERE IS EXISTING TALL
VEGETATION IN THIS AREA

HELT
DESIGN
ARCHITECTURE INTERIOR

648 W. WILLOWBROOK
SUITE 100
SHELTON, NC 28152

704.342.1808
HELTD@GMAIL.COM
WWW.HELTDESIGN.COM

PROJECT NAME: CHAMPION EXPRESS
CARWASH
FOR 78 BUILDING
AND
DEVELOPMENT

PROJECT NO. 20094

PROJECT ADDRESS
624 N. 2ND ST.
LOVED PARK, NC 28111



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CORPORATION

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OR BY ANY INFORMATION
SYSTEM.

DRAWING RELEASE
DATE: 06/16/2009

DESIGNED BY: DM

DATE: 06/16/2009

THREE VIEWS
RENDERING
ELEVATIONS

SHEET NAME: A-REN

Recommended Findings of Fact of City Staff based on the Information provided by the applicant

Findings as Required by Loves Park Ordinance - Each enumerated finding must be met before a petition for a special use may be approved.

Mark "Yes," if the findings have been considered and found to be relevant and true. Mark "No," if the findings have been considered and found to be not true. If you mark "No," please explain why in the space provided below each finding. Mark "N/A," if the findings are not applicable to the situation.

6245 N. Second Street

ZBA

- 1 _____ The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Reason:

- 2 _____ The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish and impair property values within the neighborhood.

Reason:

- 3 _____ The establishment of the special use will not impede the normal orderly development and improvement of the surrounding property for uses permitted in the district.

Reason:

- 4 _____ Adequate utilities, access roads, drainage and/or necessary facilities have been, are being, or will be provided.

Reason:

- 5 Adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets.

Reason:

- 6 The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located. The zoning officer shall forward the board of appeal's decision and records to the city council within ten days after action or within 45 days from the date of the public hearing if no action has been taken by the board of appeals.

These findings are based on staff interpretation of the required findings necessary for approval of a Special Use Permit. The Zoning Board of Appeals must indicate whether or not all the findings have been considered to substantiate the approval of a special use.

These findings have been adopted as the official Findings of Fact for the City of Loves Park, Zoning Board of appeals agenda item: **6245 N. Second Street (12-06-104-001 & 12-06-104-002)**
SUP - car wash

Chairman
Benjamin Danielson

Signature

Date

